

**THE CORPORATION OF THE MUNICIPALITY OF
HASTINGS HIGHLANDS**

BY-LAW 16 -2007

BEING a By-Law to designate a Site Plan Control area within the limits of the Municipality of Hastings Highlands, and to provide for the establishment of Site Plan Control under Section 41 of the Planning Act, R.S. O. 1990.

WHEREAS the Official Plan of the County of Hastings, which applies to lands in the Municipality of Hastings Highlands, establishes Site Plan Control;

AND WHEREAS Council deems it advisable to repeal Site Plan Control By-Law 46-2004 and enact a new Site Plan Control By-Law pursuant to Section 41 of the Planning Act that would designate certain lands within the geographic limits of the Municipality of Hastings Highlands as a Site Plan Control Area;

NOW THEREFORE, the Council of the Municipality of Hastings Highlands enacts as follows:

1. All lands affected by the following zone categories of Comprehensive Zoning by-Law No. 35-2004 as amended, are designated as site control areas:

UC	URBAN COMMERCIAL ZONE
RC	RURAL COMMERCIAL ZONE
RRC	RECREATIONAL.RESORT COMMERCIAL ZONE
CF	COMMUNITY FACILITY ZONE
UI	URBAN INDUSTRIAL ZONE
R1	RURAL INDUSTRIAL ZONE
MX	MINERAL EXTRACTIVE ZONE
M	MINING ZONE
WD	WASTE DISPOSAL ZONE
MR	MULTIPLE RESIDENTIAL ZONE (if greater than 4 units)

2. In addition, all non-residential uses shall be subject to this by-law when locating in a residential zone or when deemed applicable for site control by the Municipal Chief Building Official.

3. Definitions

- (a) For the purposes of this By-Law "Development" shall mean the construction, erection, or placing of a building or structure of any kind or the making of an addition or alteration to a building or structure that has the effect of increasing the size or usability thereof, and includes such related activities as site grading and the placing or dumping of fill and/or any other operations that disrupt the natural environment in, on, over or under land or water.
- (b) For the purposes of this By-Law "Corporation" shall mean the Municipality of Hastings Highlands.

4. Application of the By-Law

Development proposals which satisfy the following criteria shall be subject to Site Plan Control:

- a) Any residential development greater than four units;
- b) Mobile home parks;
- c) Tent and trailer parks;
- d) Industrial (includes waste management sites);
- e) Community facilities;

5. Drawings and Plans

No person shall undertake any development in the Municipality of Hastings Highlands unless the approval of one or both is given by the Corporation of the following:

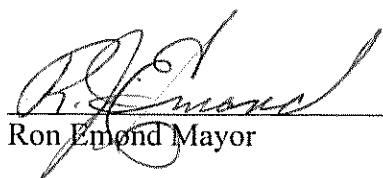
- (a) Plans showing the location of all buildings and structures to be erected
- (b) Plans showing property boundary dimensions, easements and right-of-way, building setbacks, parking locations, disabled persons parking location, fire access routes, loading areas,
- (c) The relationship of the proposed building to adjacent buildings, streets
- (d) A landscape plan, including proposed fences, lighting
- (e) Floor plans showing the location of each room
- (f) Plans showing location and size of all septic systems or proposed septic systems

6. Violation and Penalties

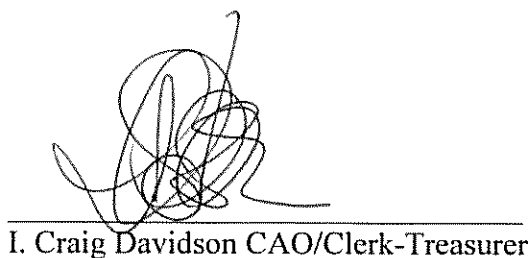
Any person who uses any lot or erects or uses any building, structure or any part of any lot, building or structure in a manner contrary to an agreement registered under the provision of Section 41 of the Planning Act, R.S.O. 1990, or who causes or permits such user or erection shall be guilty of an offence and upon conviction therefore shall forfeit and pay a penalty not exceeding five thousand dollars (\$5,000.00), exclusive of costs for each offence, and;

- 7. This by-law shall come into force and take effect immediately upon the passing thereof.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 1st DAY OF MAY 2007.



Ron Emond Mayor



I. Craig Davidson CAO/Clerk-Treasurer